

# **CHEVAL PROPERTY OWNERS ASSOCIATION, INC.**

## **HOMEOWNERS' ASSOCIATION PROPERTY GUIDELINES DESIGN STANDARDS**

**Revised: March 10, 2025**

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# LETTER TO HOMEOWNERS

August 28, 2015

Dear Homeowner:

As the owner of a dwelling in Cheval Property Owners Association, Inc., you are a member of the Association, and you are subject to the deed restrictions. This letter is being sent to you, and to all other Members of the Association, making it clear that all owners, tenants and occupants must abide by all of the terms and conditions of the Master Declaration of Covenants, Conditions and Restrictions for Cheval Property Owners Assn., Inc. ("Declaration"), as recorded in Hillsborough County Official Records Book 4450, Pages 1789 through 1830. Article IV, Architectural Control, Pages 1800 through 1803 specifically describes measures concerning architectural control.

In Cheval, much like other deed restricted communities, standards change over time. In some cases, variances have been granted. In other cases violations occur and inadvertently enforcement action is not taken.

Other Association Members, seeing these deviations from current standards, erroneously conclude that the Association has abandoned enforcement activity, and these Members choose to commit the same violation themselves. These Members take the position that the Association cannot take enforcement action against them, when enforcement action has not been taken against others.

When this kind of situation arises, the law allows the Association to get a "Fresh Start." The Association may notify all of its Members that beginning immediately, the Association will begin to strictly enforce its Declaration against all violations that occur after September 1, 2015. Then, Members will not be able to presume that a deviation from current standards occurring in the community in the past, allows them to commit the same violation.

**This letter is a formal notice to all owners, tenants and occupants that the Board of Directors, from the date of this letter forward, will strictly enforce all of the terms and conditions of the Declaration. You shall not conclude that the existence of a past violation in the community or deviation from current standards allow you to commit the same or a substantially similar violation of the Declaration.**

**Please disclose this notice to all occupants and tenants, if any, of your Cheval East dwelling.**

Your Board of Directors is working hard to make Cheval East a beautiful community to live in. Your cooperation will help in that effort.

Cheval Property Owners Association, Inc., Board of Directors

# IMPORTANT

Any changes to the exterior of a home or lot, including landscaping, with exception of same bed replanting, must **FIRST BE APPROVED BY THE ARCHITECTURAL LANDSCAPING REVIEW COMMITTEE (ALRC), EVEN THOUGH THE PROPOSED MODIFICATIONS CONFORM TO THESE GUIDELINES.**

Please refer to Article IV, Section 4 of the Master Declaration of Covenants for the authority of the ALRC to approve all exterior changes. Also see Article V of the Declaration. It contains other design requirements for some architectural features.

Application forms are available at the Cheval East Property Managers office and on line at [www.chevaleast.com](http://www.chevaleast.com) website.

**DISCLAIMER: What is not specifically permitted by these guidelines and design standards is prohibited. Additionally, notwithstanding these guidelines and design standards, and notwithstanding any approval by the Association (including any of its agents) of an application to modify or improve property in Cheval East, it is the affirmative obligation of each homeowner and their agent(s) to ensure compliance with all laws, ordinances and codes, including but not limited to building codes. The Association has no obligation to ensure such compliance.**

## INTRODUCTION

It is the intent of this manual to assure each Homeowner that CHEVAL EAST will be developed and constructed and maintained as a community of quality homes and buildings that are of: tasteful and aesthetically pleasing architectural design; long-lasting materials and high-construction standards; harmonious with surrounding structures and topography; and, that have landscaping and other site improvements consistent with the aesthetic quality of CHEVAL as a whole.

The Architectural Landscape Review Committee has been set up through The Cheval Property Owners Association is to review (and approve or disapprove) plans for any proposed construction or alteration within CHEVAL. The Master Covenants have granted this committee discretionary powers regarding the aesthetic impact of design, construction and development including architectural style, colors, textures, materials, landscaping, overall impact on surrounding, and other aesthetic matters. It shall not be the intent of this Committee to impose uniform appearance within CHEVAL, nor to discourage creativity on behalf of Homeowners. Their intent is to promote and assure that all improvements are aesthetically compatible with each other, incorporate a unique yet pleasing and discriminating character and, are constructed to reflect the quality and permanence of a “World Class” community.

This Manual has been prepared by the Committee as a guideline for Homeowners in their section of concepts for construction within CHEVAL. This Manual does not include all building, use and other deed restrictions associated with CHEVAL, and accordingly, each Homeowner should familiarize themselves with the provisions of the Master Covenants,

Neighborhood Covenants, rules and regulations of the CHEVAL PROPERTY ASSOCIATION INC. The inclusion of any recommendation in this Manual shall not preclude the Committee's right to disapprove or approve any proposed matter for any reason.

## **ALRC APPLICATION**

### **Review Fee and Construction Bond**

When a Homeowner submits plans to the Committees for Conceptual Approval or Final Approval, the submission shall include the "Review Fee" and "Construction Bond" as described below. The "Application Form" (available from the website or property manager) shall be used as a transmittal record of the submission and the Committee's response as to the submission. Upon approval, an ALRC permit must be displayed in a front window while work is being done on the home.

The Review Fees shall be as follows:

**New Home Construction - \$500.00                      Construction Bond of \$2,500.00**

The original contemplated alteration of a home-site from its natural state into a residential dwelling or where original residential construction has been demolished.

**Major Alteration or Addition - \$250.00      Construction Bond of \$2,500.00**

A Major Alteration or Addition is: A change in structural footprint on the lot or structural or site modification taking place after the original construction which is significant enough to warrant the issuance of a building permit by a governmental authority.

**Changes to or Resubmission of Plans - \$25.00**

**All other Applications except as noted below - \$25.00**

**Playground, Recreation and Permanent Basketball Hoop applications - \$25.00**

**There is no fee for the concept approval, painting, landscaping, and lawn art or roof applications**

On all New Home Construction, Major alterations and detached structures, the Homeowner shall submit to the Committee a Construction Bond, or check of \$ 2,500.00, Two Thousand Five Hundred per unit to be held in escrow by the Committees until the improvements are complete

and the Committees preform their Final Inspection. The Construction bond shall be used to offset any costs incurred by the Master Association or the Committees to:

- Repair damage to any property caused by the builder or Homeowner or their subcontractors, suppliers and representatives during construction.
- Recover legal fees and other costs incurred by the Committees in order to correct any construction or alteration not performed in substantial compliance with the plans receiving Final Approval; and pay for any fines or penalties imposed by the Committees or the Master Association for violations of any rules of conduct or regulations governing use of property within CHEVAL.

## **Concept Approval**

Any Homeowner may submit preliminary or conceptual drawing and specifications or other information to the Committees for Concept Approval prior to the preparation and submission of detail plans and specification for Final Approval. A Concept Approval is not mandatory, but is provided for convenience of Homeowners in order that they may accomplish a timely and thorough preparation and ultimately receive Final Approval of their construction, landscape or hardscape plans and other submittals.

The Committees shall review the information based upon style , materials, aesthetical nature with surrounding home or neighborhoods and indicate its approval, disapproval or recommendation for the plan. Concept Approval given by the Committees shall not constitute approval for the commencement of construction, but only approval of the conceptual information being reviewed.

Submittals for Concept Approval of any New Home Construction, Major Addition and Detached Garage shall include, at a minimum, one (1) set of the following and shall be designed by a Registered Architect or person of similar competency:

- Concept Site Plan showing the approximate location and dimensions of all improvements.
- Concept Floor Plan.
- Concept Exterior Elevations.
- Concept Landscape Plan.
- Such other information, data and drawings, as may be reasonably requested by the Committees.
- Copy of survey that is certified.

## **Final Approval**

No Construction of a building or structural improvement, no landscaping or other site improvement, and no alteration or addition to any existing structure or site improvement shall be made on any property until the plans and specifications showing the proposed design, nature,

kind, shape, size, color, materials, and location of same, shall have been submitted to and shall have received Final Approval by the Committee. The Homeowner requesting Final Approval of an improvement shall submit sufficient exhibits to demonstrate compliance with standards and requirements of this Design Review Manual. Construction must commence within six (6) months from date of Final Approval or Final Approval is void. If Final Approval is granted subject to conditions, the conditions shall be satisfied within sixty (60) days of issuance or Final Approval shall be void.

Submittals for Final Approval of any New Home Construction shall include, at a minimum, two (2) sets of the following, and shall be designed by a Registered Architect or persons of similar competence:

- Site Plan at a minimum scale of one (1) inch equals twenty (20) Feet:  
A clearing and grading scheme with proposed and existing land contours, grades and flow of the site drainage system; location and size of any trees having a diameter of three (3) inches or more, proposed to be removed from the site; and, the dimensions and locations of all buildings, access drives, parking, utilities (water, a/c units, power, telephone, cable, etc.), street pavement location, and all other proposed improvements to the site.
- Landscape and Irrigation Plans at a minimum scale of one (1) inch equals twenty (20) feet. The size, type and location of existing and proposed tree location; the location of all planting areas including existing plant materials incorporated into the plan, the species and size of all stock at the time of planting, and, an irrigation plan including the source of water supply.
- Plans at a minimum scale of ¼ inch equals one (1) foot for all floors, cross sections and elevations including projections and wing walls, (Floor plans should also show total square feet of air conditioned living area).
- Plans, elevations, types of materials and other information associated with any other site improvement or ornamentation, including mail boxes, exterior lighting, walls, fencing and screening, patios, decks, pools, porches and signage.
- Samples and colors chips of all exterior finishes and materials to be incorporated into the plan.
- Such other information, data and drawings as may be reasonable requested by the Committee.
- The Review Fee and (for New Home Construction), the Constructions Bond.

After completion of a Major Alteration submit a full set of As-built drawings.

If, after the initial concept approval for Alteration or home construction, a Homeowner desires Final Approval for an alteration or addition, sufficient information shall be submitted to the Committee to allow it to fully understand the proposed alteration or addition. Such information

could be as simple as a letter with a material sample or picture, or as complex as the above-stated submittals.

The Committees may require a rough stakeout of the proposed New Home Construction or Major Alteration or Addition prior to rendering its Final Approval on any matter.

## **Inspections**

The Committees shall have the right to enter upon and inspect any property at any time before, during, or after completion of work for which approval is required under this Manual. Upon completion of construction, a Homeowner shall give written notice to the Committees using the transmittal form provided by the committees. Attached to the notice shall be a final survey and a copy of the **Certificate of Occupancy for the newly constructed improvement**. Upon “Final Inspection” of the improvements by the Committees and provided that such inspection determines that the improvements were constructed in substantial compliance with the plans and specifications submitted for Final Approval, the Committees shall return the Construction Bond (less any amounts withheld for reasons described previously).

**Homeowners are forewarned that the Master Covenants have granted the Committees and the Board of Directors of CHEVAL’S Property Owners Association, broad discretionary powers regarding the remedy or removal of any non-complying improvement constructed within CHEVAL. In this regard if the Committees find that any improvement was not performed or constructed in substantial compliance with the submittals receiving Final Approval, the Board of Directors of the CHEVAL PROPERTY OWNERS ASSOCIATION INC., or the Committees may remedy or remove the non-complying improvements, and charge the action to the Homeowner.**

## **Appeal**

If an application for Concept Approval or Final Approval has been denied or if an approval is subject to conditions which a Homeowner feels are harsh or unwarranted, or if there are disputes to any other matter related to actions of the ALRC Committee, the property owner may request a hearing before the full CPOA Board within 15 days. At the hearing, Homeowner will be allowed to present its position on the matter and make requests or recommendations as to an alternative action. After the hearing, the CPOA Board will review the information presented and notify the Homeowner of their final decision on the hearing. The decision of the CPOA Board regarding the matter shall be final. Refer to the Master Declarations.

## **Conduct**

All Builders and Homeowners shall be held responsible for the acts of their employees, subcontractors, suppliers and any other persons or parties involved in construction or alteration of a home-site. In this regard, a Builder or Homeowner shall be responsible for the following:

- Ensuring the construction site is kept clean and free of all debris and waste materials, and that stockpiles of unused materials are kept in a neat and orderly fashion.
- Prohibiting the consumption of alcoholic beverages, illegal drugs or other intoxicants that could hamper the safety or well-being of other personnel on the site or affect the quality of workmanship.
- Assuring that the aforementioned are properly insured
- Assuring the aforementioned does not commit any violations of the rules and regulations of the Cheval Property Owners Associations or the Committee.
- Additions to the original structure must conform to the architectural design of the original structure and be within the setbacks of the property.

## **GENERAL STANDARDS**

### **Residential Use**

The home sites may be used for residential housing purposes and for no other purpose. No business, occupation, or profession may be conducted on a home site or within a dwelling unit except that real estate brokers and homeowners (and their agents), may show any home site and dwelling unit, for sale or lease. All vehicles shall be garaged and no vehicle is to be left parked on the street at night or blocking the sidewalk at any time. Such vehicle will be towed at the homeowner expense.

### **Temporary Improvements**

No temporary building or structure shall be permitted on any home site except that trailers, temporary buildings, barricades and the like, may be permitted during construction of a permanent improvement, provided the Committees had approved the design, appearance, and location of the same. They shall be removed no later than fourteen (14) days after the date of completion of the building (s) for which the temporary structure was intended, and shall be permitted for no longer than a period of six (6) months unless an extension of time is granted by the Committees.

### **Accessory Structures**

No more than one (1) detached single-family residential dwelling shall be erected in a home site. The Committee may approve accessory structures (such as, garages, gazebos, guest houses, and sheds), that are detached from a main residential dwelling and are not to be held for lease. Guest houses must not be occupied by the same guest for more than 21 days at a time. The same guests cannot occupy the detached guest house more than twice in a 12 month period and not concurrently. Detached guest houses are for the sole purpose of limited occupancy, not full time residency. Attached guest quarters does not apply. Detached garages with second floor guest

quarters will also comply with these provisions. No fixed metal roofs are allowed on any accessory structures.

## **Utility Service**

No lines, wires or other devices for communication purposes, including telephone, television, data and radio signals, or for transmission of electric current or energy, shall be constructed or placed on any home site unless the same shall be in or by conduits or cables constructed, placed and maintained underground or concealed in, under or on building, or other approved improvements. Above ground electrical transformers and other equipment may be permitted if properly screened and approved by the Committee. In addition, all gas, water, sewer, oil and other pipes for gas or liquid transmission shall also be placed underground or within or under buildings. Nothing herein shall be deemed to forbid the erection and use of temporary or telephone services incident to the construction of approved improvements.

## **Refuse and Storage Areas**

Garbage and refuse shall be placed in containers and shall be capped and contained in such a manner that they are inaccessible to animals. The containers shall be concealed within buildings; be concealed by means of screening wall of material similar to and compatible with that of the building; or, concealed by sufficient landscaping to provide a permanent screen from view of surrounding property. These elements shall be integrated with the building plan, be designed so as not to attract attention, and shall be located in a reasonably inconspicuous manner as possible.

## **Storage tanks**

No storage tanks, including but not limited to, those used for storage of water, gasoline, oil, other liquid or any gas, shall be permitted outside a building except as approved by the Committees. All tanks are to be placed underground.

# **SITE IMPROVEMENT STANDARDS**

## **Site Placement**

All buildings and other improvements shall be placed as approved by the Committee. The existing topography and landscape shall be disturbed as little as possible, such that the maximum number of desirable trees and other natural features will be preserved. All Cheval Property Owners to include Cheval Tennis Village Condominium Association residents must submit an application to the ALRC for new or existing additions or modifications to lanais or patios. Work shall not commence without prior approval from the ALRC.

There shall be no building of any structure that is not within the various setbacks.

Additions to the original structure must conform to the architectural design of the original structure and be within the setbacks of the property.

There shall be no structure or landscaping within any drainage easement. Any structure within other easements must receive a variance to the easements by the easement holder.

## **Building Setbacks**

Where a home site fronts on more than one street (such as a corner home site), the minimum front setback shall apply to the frontage on both streets. The direction in which any dwelling unit's front elevation shall face on a home site shall be approved by the Committees.

The Committees may grant an exception for minimum setbacks in a case where a home site would be rendered unbuildable due to its size, shape or topography, and to save existing trees. The committees may, at its sole discretion, impose more stringent setback requirements as to the location and positioning of any building.

## **Cheval East Minimum Square Footage and Setbacks**

**All front setbacks are measured from the street curb**

**Cheval Estates South (4701 to 4826 Cheval Blvd), Highland Park Circle, Pepper Pike Lane, Monaco Estates, and Capri Estates.**

3000 minimum, air conditioned square footage

Set Backs	Front	50 Feet
	Rear	30 Feet
	Side	25 Feet

**Rue Loire Village, Biarritz Village, Beau Rivage Village, and Bayonnes Village.**

2,000 minimum, air conditioned square footage

Set Backs	Front	25 Feet
	Rear	20 Feet
	Side	7 1/2 Feet

**Bordeaux Estates, (TPC Blvd is a part of Bordeaux) Wimbledon Village Estates and Cheval Lake Club Village (4325 to 4341 Cheval Blvd), Cheval Estates North (4509 to 4602 Cheval Blvd)**

2,500 minimum, air conditioned square footage

Set Backs	Front	25 Feet
	Rear	20 Feet
	Side	7 ½ Feet

**Avignon Estates**

2,500 minimum, air conditioned square footage

Set Backs	Front	25 Feet
	Rear	20 Feet
	Side	7 ½ feet

**Cannes Village**

2,000 minimum, air conditioned square footage

Set Backs	Front	25 Feet
	Rear	20 Feet
	Side	Part of House is Zero lot line as designated by present house survey. The remaining property setback is 7 ½ Feet

**Beauvais**

3,000 minimum, air conditioned square footage

Set backs	Front	20 feet
	Rear	20 Feet
	Side	7 ½ Feet

**General Lot Conditions**

Each lot shall be at least 11,200 square feet and 75 feet across the front.

For sites with street side sidewalks, the front setback shall be measured from the inside (the side closest to the house) of the sidewalk and be at least 25 feet.

For sites without street side sidewalks, the front setback shall be measured from the inside of the street curb and be at least 35 feet.

Where a home site fronts on more than one street (such as a corner home site), the minimum front setback shall apply to the frontage on both streets.

## **Driveways**

All home sites shall have a permanent driveway of at least twelve feet in width constructed of poured-in-place concrete or pavers or a combination of both. This shall also include parking areas. When curbs are required to be broken for driveway entrances, the curb shall be replaced to its original shape and grade with its same original material type. All concrete driveways shall have a light broom finish and joints shall be provided to prevent cracking.

Painted driveways will not be permitted: only existing painted driveways will be allowed to be repainted the approved Sherwin Williams paint Pussywillow SW7643 color.

When replacing driveways, an application must be submitted to the ALRC and approved prior to commencing any work. Driveways replacement may be accomplished either by using the same type materials as original driveway or by using pavers.

If the driveway is to be replaced using pavers, the selection of paver color shall be compatible with the house roof color and the base color of the house. When driveway pavers extend all the way to the street, including the sidewalk area, then a CPOA Driveway Easement Agreement must be executed by the applicant.

To provide for sidewalk continuity, when replacing driveways with pavers within the sidewalk area, sidewalk elevations that are immediately adjacent to the driveway shall be maintained as to maintain proper drainage of the sidewalk. The installation of pavers adjacent to the sidewalk shall match these prior elevations. If any portion of the sidewalk adjacent to the driveway is removed then it shall be replaced at these same elevations.

No red, dark brown, or any similar dark color paver or brick is allowed. Any dark colored driveways approved prior to March 10<sup>th</sup>, 2025 are grandfathered in.

Driveways shall be of poured concrete or concrete pavers with a minimum size being 4 inch by 4 inch and 2 3/8 inch thickness, with the exception of Beauvais.

Beauvais – Driveways shall be concrete pavers. Replacement of pavers must be compatible with the master color package for Beauvais and requires ALRC approval.

## **Street Front Improvement**

The Homeowner shall install and maintain trees, sod, and irrigation along the street frontage of the home site regardless of the size of the home site or the amount of street frontage. The Committees shall review the landscape and site plan to check that street tree spacing and sidewalk location is consistent with neighboring home sites.

Sod shall be provided to the back of the curb and shall be St. Augustine grass either rolled sod or rectangular sheets of sod. St. Augustine sod comes in different varieties, some that thrive in the sun and some that thrive in the shade.

The sodded area shall be provided with an automatic underground irrigation system.

The Homeowner shall be responsible for maintaining the street trees, and sod in acceptable manner.

## **Drainage and Grading**

No physical improvements or elements of the landscape or terrain which control or determine the location or flow of surface water and drainage patterns may be created, destroyed, altered or modified without prior written consent of the ALRC, whether on private property or common area. The direction of sheet flow and swales must be maintained.

Special attention shall be given to proper site surface drainage so that surface waters will not interfere with surrounding home sites and natural drainage flows (Beauvais and Biarritz Village see note below). Paved areas shall be designed to allow surface water to drain naturally and not to allow water to collect or stand. All buildings shall have a minimum finish floor elevation equal to or greater than one foot above the one-hundred-year flood elevation.

Drainage Easements shall not contain permanent improvements, including, but not limited to, sidewalks, driveways, impervious surfaces, patios, decks, pools, air conditioners, structures, utility sheds, poles, fences, sprinkler systems, trees, shrubs, plants and landscaping except as approved by the Hillsborough County Administrator.

Buildings, permanent structures or landscaping, except sod, are not allowed in a drainage easement.

There shall be no building of any structure that is not within the various setbacks.

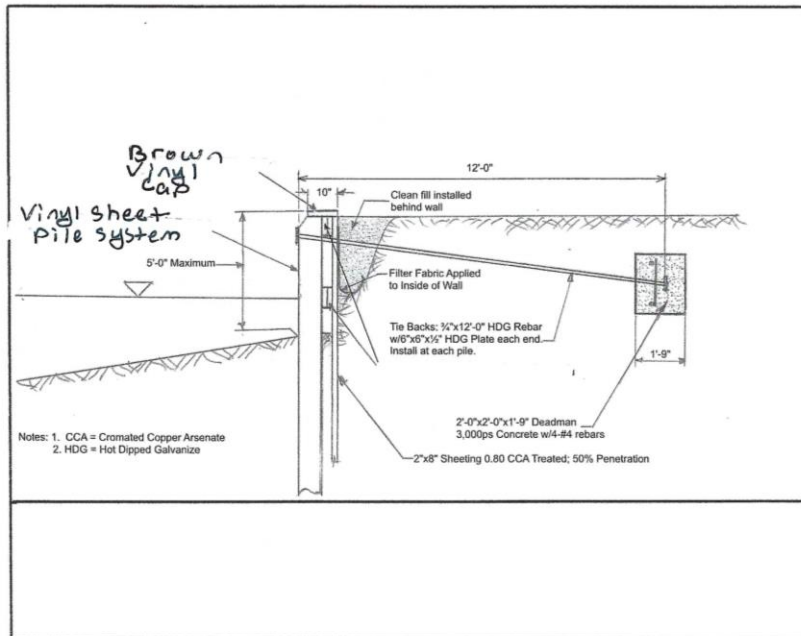
There shall be no structure within any drainage easement. Any structure within other easements must receive a variance to the easements by the easement holder.

*Beauvais and Biarritz Village* – when gutters are installed per approved application, the drainage water from the gutters must be piped to the street side with a drain outlet on the house side of the sidewalk. There are utilities located between the sidewalk and the street. Any damage will be owner's responsibility.

## Seawalls

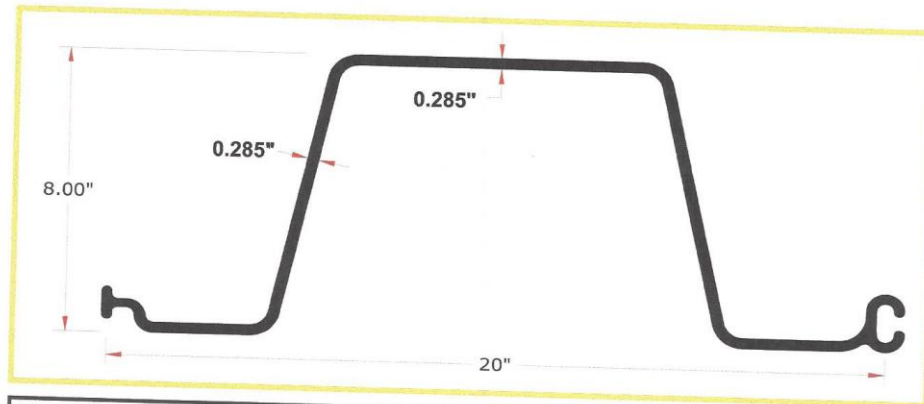
### Construction

#### Guidelines for Seawall Construction in Cheval

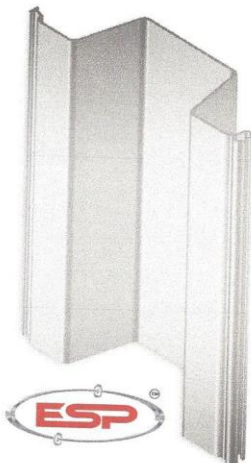


- In general, seawalls are not encouraged within Cheval; sloped landscaped embankments are preferred and encouraged
- Where seawalls become necessary, plans for proposed seawalls shall be submitted to the ALRC for approval.
- Only vinyl seawalls are allowed. The specifications are shown in the below illustration. Seawall cap may be made of vinyl or Trexx material.
- This seawall can be mixed in between existing wooden pole seawalls as to create a non-aesthetic view.
- Where there is an existing seawall, the new seawall may be tied into the wooden structure posts and tie back rods may be extended to include the new vinyl seawall.
- Once the seawall is completed and clean backfill is installed, it must be re-sodded with St Augustine grass.
- Where seawalls of this type construction exist on a lake or pond, only this type seawall will be considered by the ALRC due to maintaining continuity and aesthetics. On lakes/ponds where no seawalls exist, for the overall aesthetics of Cheval this type seawall be proposed. However, alternate plans that are signed and sealed by a licensed professional engineer will be considered
- A construction diagram of the seawall is to be furnished by the contractor along with a survey of the property.





Strength Rating (M)	Lbs-Ft/Ft	4,103	Modulus of Elasticity (E)	psi	380,000
Allowable Shear (V)	Lbs/Ft	3,285	Co-Extruded		Yes
Thickness (t)	inches	0.285	Section Depth	inches	8
Section Modulus (Z)	in <sup>3</sup> /ft	14.9	Section Width	inches	20
Moment of Inertia (I)	in <sup>4</sup> /ft	59.7	UV Stabilized		Yes
Ultimate Tensile Stress	psi	6,300	Standard		
Creep Limited stress	psi	4,000	Packaging	sheets/ bundle	20 & 10



*This Alabama development features a Navy-style bulkhead construction with the EverLast 4.1 Series.*



\*Color shown in gray.

The values shown are nominal and may vary. The information found in this document is believed to be true and accurate. No warranties of any kind are made as to the suitability of ESP sheet piling for particular applications or results obtained therefrom. Consult with a professional engineer and/or contractor as to the suitability of this product for your particular application.

## Recreation and Play Structures

### Play Structures

All fixed games and play structures shall be located at the side or rear of the building not visible from the street, or on the inside portion of the corner home site within set back lines.

Trampolines are prohibited.

- Must be appropriately landscaped to shield from being viewed from the street, golf course and neighbors. (Immediate 80% coverage).
- Must not have bright, garish colors – appropriate colors include green, brown, and black which are earth tones.
- Consideration will be given to shape of lot and placement of device on the lot for maximum shielding.
- Device must not create bothersome noise so as to be a nuisance to neighbors.
- Must not be placed in easements.
- Notification of neighbors on both sides and across the street must be submitted so as to allow time for objections to be noted. Although objections will be considered, they may not necessarily control the outcome of the ALRC decision.
- Tree house or platforms of a like kind or nature shall not be constructed.
- No portion of the play structure platform shall be higher than five feet (5') from the original grade at rest.
- No part of the structure shall be higher than eleven feet from the original lot grade.
- The platform may not exceed six feet by six feet (6' x 6') or thirty six (36) square feet and the support beams may not exceed twelve feet (12') in length.
- Temporary plastic infant/toddler style toy play sets must be store out of public view when not in use.
- Bounce houses or inflatable water slides or similar may be used for an event. Set-up one day prior and removed one day following the event. Personal inflatable play equipment is not permitted.

### Basketball Hoops

- Portable basketball hoops are not permitted.
- Goals shall be on a post implanted in the ground. *Beauvais- goals shall be placed in the rear of the structure with 80% opaque screening.*
- Post shall be placed behind the front house setback *except Beauvais.*
- Post shall be black.
- Back board shall be glass or other transparent material.
- Backboard shall be perpendicular to street wherever placed, *except Beauvais.*
- Only one goal is permitted per home site.
- Shall have intact net and proper maintenance at all times
- Notification of neighbors on both sides and across the street must be submitted so as to allow time for objections to be noted. Although objections will be considered, they may not necessarily control the outcome of the ALRC decision.

- No play permitted before 8:00 AM and after 10:00 P.M.
- Must be appropriately landscaped to shield from being viewed from the street, neighbors and golf course (immediate eighty (80) % coverage).
- **Photos of Approved Basketball Goals**



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## **Swimming Pools, Tennis, Badminton, Pickleball Courts, Soccer Goals and Putting Greens, Sports Courts**

Any swimming pool to be constructed at any home site shall be subject to review by the Committee. The design must incorporate, at a minimum, the following:

- The composition of material must be thoroughly tested and accepted by the industry for such construction.
- Pool cages and screens must be bronze color and material approved by the Committees. (Biarritz pool cages shall be white color)
- Above ground swimming pools are not permitted.

No tennis, badminton, pickleball or other sports courts of any kind are permitted.

Soccer goals shall be of temporary nature and not visible from the street. They are to be removed and stored after each use.

Putting greens must be in the rear of home, not visible from the street and within the perimeter of the property boundary lines. Putting greens are not allowed in the side yard and lighting is not allowed.

No permanent fixed sports structure, including a pad of any sort, is allowed with the exception of basketball hoops in driveways per the guidelines.

No lanai may be extended more than 20 percent of the existing lanai structure, pending ALRC approval.

## **Signs**

No signs whatsoever, (including, but not limited to, commercial, political, for sale, real estate and similar signs), shall be erected or maintained on the home site except such signs as may be required by law and such signs as may be approved by the committee. The only exception is a private property sign measuring 12"x20" made of aluminum. Example of approved private property sign:



Any parcel owner may display a sign of reasonable size provided by a contractor for security services within ten (10) feet of any entrance of the home. (720.304.6 Florida Statue)

## Lighting

All exterior lighting shall be consistent with the character established in CHEVAL and shall be limited to the minimum necessary for safety, identification and decoration. Exterior lighting of buildings for security, and/or decoration shall be limited to conceal up lighting or down lighting and the style and type of lighting shall be compatible with the building design and materials.

The source of lighting shall not be visible from streets and other common areas and no color lens or lamps are permitted. No post, string or rope lighting is allowed.

## Fences and Walls

- In general, fences or walls are not encouraged within Cheval; berms, or other landscape alternatives are preferred. Fences, hedges or walls from the front of the house to the street are not allowed. Fences, hedges or wall across the property line along the street is not allowed. *Beauvais, please see exceptions below.*
- Walls, where permitted shall be of the same material and design as the adjacent building.
- Hedges are defined as 4 feet in height planted 4 feet inside property line.
- No wall over six (6) feet in height will be permitted.
- Must be aluminum.
- Must have a wrought-iron look.
- Must be 40" to 60" in height.
- Must be black.
- Must have at least one gate for access. Gate shall be a minimum of 4 feet wide.
- Must not be placed in easements.
- Fence must have an immediate 80% opaque screening of hedges 36" in height at time of planting where required.
- Front fence must be screened on the outside.
- Side fence must be screened on the inside.
- Rear fences are not required to be screened facing the lakes or golf course. When required rear fences shall be screened on the outside.
- 80% opaque screening must be maintained at all times.

- A living fence (hedge, shrub) may be used in lieu of metal fencing along the rear and side of the property perpendicular to the front property (house) setback line. No living fence shall cause a sight distance hazard. All existing living fences must be trimmed, no higher than four feet (4') on the front of the property and four feet (4') on the side of the property. Hedges along the front of the property are not allowed. All living side property hedges are discouraged for security reasons.
- No entertainment centers or walls are allowed outside the original structural footprint of the home. They are only allowed on the inside Lanai wall. All noise regulations of Cheval shall apply.

**Beauvais** – All the above reference apply except: fences are 36" in height and fence should start at rear of house. Houses on the golf street side of Beauvais shall be 36 inches in height maximum. Plantings along the fence line are optional. Any plantings should be maintained no higher than the fence when trimmed at maturity. Any continuous plantings such as hedges shall be spaced such that one (1) foot is maintained between the planting (at maturity) and the fence for maintenance. Non-continuous plantings shall be located such that at maturity maintenance will prevent encroachment through and above the fence.

There shall be no hedges without a fence. Fences shall be installed inside the property line. In addition, no walls of any type are permitted in Beauvais.

## **Mailboxes**

Mail box structures shall be constructed with a stucco finish or a finish consistent with the architectural style of the residence that it supports. Stucco finish must be painted the same color as the base or trim color as the residence or a combination thereof. It shall be located at the street front of the home site as prescribed by the United States Postal Service and shall contain the house number of the residence.

A damaged mail box structure must have a stucco finish or a finish consistent with the architectural style of the residence it supports and may be replaced with an identical type structure without submitting an ALRC application.

When replacing mail box structures of any type other than a damaged one, including metal structures, the structure shall be replaced with a stucco finish or a finish consistent with the architectural style of the residence it supports. The proposed structure must display continuity and conformity to the surrounding Cheval East mail box structures in the area. If a stucco finish is used, it must be painted the same color as the base or trim color as the residence or a combination thereof. **See Appendix A – Typical Cheval East Mail Box Structures.** An ALRC application must be submitted and approval received prior to beginning work.

**Beauvais-** Mail box structures shall be a centrally located kiosk system as required by USPS.

## **Appendix A – Typical Cheval East Mail Box Structures**



## **Lawn Furnishings**

The following shall be applied by the ALRC in its review of all applications for Lawn Art. Lawn Art is defined as any object or item placed and installed on a residential lot in Cheval East, other than landscaping and building structures. Statues, flower pots and decorative objects are considered yard art.

Applications for approval by homeowners desiring to install Lawn Art must be submitted to the ALRC on an ALRC application form. All Lawn Art applications must include the number of objects, the size, color and dimensions, and the location of each object to be placed on the lot. Each and every Lawn Art application will be considered and deemed on its own merit.

Exceptions to the ALRC approval of Lawn Art are those which are temporary in nature such as holiday presentations, birthdays, anniversaries, and other special celebrations.

All Lawn Art must be neutral in color. Bright colors are prohibited. Small statues and monuments such as replicas of animals that are less than 18” in height are permitted to be laid in existing landscape beds. Wreaths are permitted on the front door of any property. Artificial vegetation is permitted on front door wreaths only. All furniture on any front porch must be manufactured and designed for outdoor use. No PVC outdoor furniture is allowed in public view. A total of two benches per property are allowed. Hammocks are allowed only in rear yards. All Lawn Art larger

than 18” in height and that can be viewed from vehicle traffic other than golf carts shall be approved by the ALRC.

Wind chimes and hanging ornaments may be displayed in the rear yard only and out of public view. Wind chimes shall not disturb the peace and quiet of any neighbor.

Fountains are permitted and are subject to the following specifications: Only one fountain is allowed per property. Fountain may be placed in the front or rear yard of any property. Fountain shall not be obscene, offensive, political, have religious orientation, or be used as advertisement . Fountains shall be in working order.

End of year holiday lights, fake snow, and other displays may not be lit prior to Thanksgiving Day and must be removed by Jan, 15th of the year immediately following. Decorations for other holidays and or special events are also permitted. Decorations may be placed outside within one month of the actual date of the holiday and must be removed by the 7<sup>th</sup> day following the holiday.

Grand-fathered Lawn Art must be properly maintained on the date of the published changes to the Master Declaration of Covenants. Grand-fathered Lawn Art means that items that would violate the new guidelines do not have to be changed. All Existing Lawn Art that is grand-fathered shall be on record as being in place by the new published date. Any future changes to the grand-fathered lawn art will be subject to a new approval by the ALRC and the new ALRC Lawn Art guidelines.

Birdhouses and feeders are only allowed in the rear of the property.

## **SHEDS**

Sheds of any kind are prohibited.

# **BUILDING CONSTRUCTION STANDARDS**

## **Exterior Materials**

Finish building materials shall be applied consistently to all sides of the exterior buildings. Recommended materials shall be brick, stone, stucco, wood (not plywood or similar material), or other approved neutral material.

## **Exterior Painting Colors**

Finish colors shall be applied consistently to all sides of the exterior of buildings. Color selections shall be harmonious with each other and with natural materials, and shall be compatible with colors of the natural surrounding and other adjacent property. All exterior wood must be painted or stained per color charts. All exterior paint colors must be from

approve exterior paint color book, located in the property managers office. **Exterior paint colors are defined by roof type and established roof color for the particular village.** If you change your roof color you must also submit an application to repaint your home in the color scheme to match your new roof color if the paint scheme is not compatible with approved colors. Biarritz is Terracotta Gold, Cannes and Rue Lorie a light gray roof. The other Cheval villages are defined by the standards of type 2 or type 4 roofs. *Beauvais* must adhere to the Master Color Package Schemes 1-9 and not be changed from the original color scheme without ALRC approval. See Appendix A.

## **Exterior Trim, Windows and Decoration**

Exterior and window and door trim and similar decorations shall all be of the same color and material, unless otherwise approved, and shall be either of the same material as exterior walls directly compatible.

Fascia, gutters and downspouts shall blend in and be directly compatible with the architectural detail of the exterior walls. All windows, sliding glass doors and patio doors may have Colonial or Traditional Style mutton or lite patterns for windows and shall be white or other light color unless other alternatives are specifically approved by the Committees. Reflective glass is prohibited. Decorative shutters or known as “Key West” style shutters are prohibited. Hurricane shutters must match home. Hurricane shutters may be installed seven days prior to hurricane and must be removed within seven days after a hurricane.

Faux window paintings are prohibited on the exterior of the house.

## **Drapes, Curtains and Shutters**

As viewed from the exterior, any drape, curtain, shutter, or any other similar elements shall be compatible in color and style with the exterior of the building.

## **Building Heights**

Heights of buildings shall be compatible with adjacent buildings and requirements defined by Hillsborough County.

## **ROOFING CONSTRUCTION**

### **Roof Standards – General Principles for Cheval East**

The following General Principles are intended to summarize the principles that serve as the foundation of the specific Roof Specifications and Requirements that immediately follow. In the

event of any conflict the Roof Specifications and Requirements shall control. Please note: If you change your roof color you must also submit an application to repaint your home in the color scheme to match your new roof color if the paint scheme is not compatible with approved colors.

- These standards shall apply to the construction of new homes, replacement of a home and the replacement of existing roofs.
- In each case, homeowners must submit an application and receive written approval from the ALRC prior to replacing an existing roof or building a roof on a new or replacement home.
- In the case of a catastrophic event, the ALRC will meet on an emergency basis to promptly consider an application.
- Cheval is a community of neighborhoods. Some neighborhoods have one kind of roof style. Other neighborhoods have multiple styles. In some neighborhoods the ALRC provides options for the homeowner to choose from, while in other neighborhoods options are limited.
- All roofs must comply with the Roof Specifications and Requirements below. The goal of the Roof Specifications and Requirements is to have roofs that are appropriate for the neighborhood and Cheval as a whole, in regard to aesthetics, home design, color, style and quality.
- Roofing materials must comply with approved color and material specifications.
- Roof shapes must be hip or gable with a minimum roof pitch of 6/12.
- Roofs must be ventilated with ridge vents, off-ridge vents or attic fans. Intake and exhaust elements must not be readily visible from the street or adjoining homes. All roof vents shall match the color of the adjoining roof. Turbines, roof louvers, or roof mounted power vents are not allowed if visible from the street.
- Chimneys shall be brick, stucco or a material similar to the dominant house material.
- Zero-truss line homes with no overhangs are not allowed. All neighborhoods require a twelve (12") minimum up to a twenty four ( 24") maximum overhang
- Aluminum or metal roofs or trim are not allowed.
- Sun shades, metal or material awnings are prohibited.

### **Roof Specifications - Shingles**

- Super-heavyweight, granule surfaced, self-sealing asphalt shingle with a strong fiberglass reinforced Micro Weave core and Stain Guard protection. Architectural laminate styling that provides high definition color blends and enhanced shadow effect. UL 790 Class A rated UL 997 Wind Resistance Label; ASTM D 7158, Class H; ASTM D 3161, Type 1; ASTM D 3018, Type 1; ASTM D 3462; CSA A123.5-98; AC438; Dade County Approved, Florida Building Code Approved.

**Color:**

- As selected from manufacturers' full range and corresponding to Cheval's Architectural Standards of approved roof colors.
- Unless a color is specifically specified by manufacturer.

**Style and Pattern:**

- The shape, style and pattern of roof materials must complement homes in the defined neighborhood. The following asphalt shingles are approved and classified as follows:

**Premium Shingle Roof**

**All Of Cheval Blvd., Pepper Pike Lane, Highland Park Circle, Avenue Monaco And Avenue Capri**

Manufacturer: GAF (Timberline Series)

Style: Timberline HDZ

Color: All options of colors available from manufacturer are allowed as long as it corresponds with the home color.

Manufacturer: Owens Corning (Specialty Series)

Style: Duration Designer

Color: All options of colors available from manufacturer are allowed as long as it corresponds with the home color.

**Mid-Grade Roof**

**Bayonnes, Beau Rivage, Rue Loire and Wimbledon Circle**

Note – Rue Loire must be either GAF Timberline HD- Birchwood or GAF Timberline HD – Driftwood.

Manufacturer: GAF (Timberline Series)

Styles: Timberline HD

Color: All options of colors available from manufacturer are allowed as long as it corresponds with the home color.

Manufacturer: Owens Corning

Style: Duration

Color: All options of colors available from manufacturer are allowed as long as it corresponds with the home color.

### **Roof Specifications - Concrete Tiles**

- Ceramic Tile and heavyweight material made from Portland cement, sand, iron oxide, water, and extruded in molds to form the tile shape.
- ASTM C 1492; Standard Specification for Concrete Roof Tile; ICC ESR 1900, Dade County Approved, Florida Building Code Approved.

#### **Color:**

- As selected from manufacturers' full range and corresponding to the neighborhood's architectural standards of approved roof colors

#### **Style and Pattern:**

- The shape, style and pattern of roof materials in either barrel, flat or villa tile must be consistent with homes in the defined neighborhood.

### **Cannes Roof**

Manufacturer: Eagle

Profile: Flat Tile

Texture: Tapered Shake (Smooth)

Color: Light Gray Range

Product No. 4679

### **Biarritz Roof**

Manufacturer: Crown Roofing Tiles

Product Style: Sanibel

Product No. ASASC001

Color: Mission Terracotta Range

Profile: Barrel Tile

### **Beauvais**

All tiles roofs shall be in accordance with Beauvais Master Color Package. See appendix A.

### **Bordeaux Estates, Cheval Estates, Wimbledon, BeauRivage, Bayones, Cheval Boulevard and 5150 & 5152 TPC Blvd.)**

The color and style of a tile roof must be submitted for approval by the ALRC prior to any roof replacement.

### **Avignon Estates**

The color and style of a tile roof must be submitted for approval by the ALRC prior to any roof replacement.

### **Installation of Tile Roofs:**

Installation shall be in accordance with the Tile Roofing Institute Installation Manual for Moderate Climate Regions ICC-ES ESR 2015P, FRSA/TRI Concrete and Clay Roof Tile Installation Manual Fourth Edition 07-320-8-05 ICC-SSTD-11 or TAS 101 and RAS 118,119,120 for High Wind Zones (HVHZ).

### **Changing Technology/Material Availability**

A. the ALRC *cannot on a case-by-case basis* entertain homeowner requests to consider roofing materials and styles that attempt to mimic those specified in the *Roof Specifications and Requirements*. However, the ALRC may in its discretion consider such requests from homeowners as potential amendments to the *Roof Specifications and Requirements*. As a condition of the ALRC's consideration, the homeowner may be required to procure supporting materials and expert opinion at the homeowner's cost in support of the request.

B. These *Roof Specifications and Requirements* will be amended if the ALRC is made aware that a specified roofing material is no longer available. A homeowner claiming that a specified material is no longer available may be required to procure proof in support of his claim. The ALRC has no obligation to allow a substitute for a roofing material that has been shown to be unavailable.

## Chimneys

Chimneys must be either stucco or same material as the majority of the house.



## Roof Overhangs

- Zero-truss line homes with no overhang are not allowed. Any application must be submitted to the ALRC for specific approval and a determination of design quality and compatibility. All neighborhoods require twelve inch (12) minimum to twenty-four (24) maximum overhang.

## Garages

All garage doors shall be a minimum width of 8 feet for each automobile and operated by automatic door openers; garages shall also have a service door. Garage doors or service doors {except in Cannes, Loire, Beau Rivage, Bayonnes, Rue Bordeaux, Wimbledon, Biarritz and Cheval Boulevard Eyebrows) shall not be located on the street front of a residential dwelling. Garage doors should always be located where they are the least visible to persons approaching the residence. When garage doors face the side of home site line, screening from view by landscaping is recommended. Garage doors shall be constructed of a material that is similar in appearance to the exterior materials of the buildings, and the color of the garage doors shall be the body color of the house or white. Garage doors, automatic door openers and doors shall be maintained in a useful working condition and shall be kept closed when not in use. No garage door may be carriage doors nor have a carriage door appearance. Garage door hardware may be approved with an application.

No garage shall be converted to other usage without the substitution of another garage. No carports will be permitted. No garage screens of any kind are allowed.

## **Vehicle, Driveway Use and Storage**

Car covers in view from the street or neighbors are prohibited at any time.

Commercial vehicles with lettering or other is not permitted overnight in driveways or streets.

Box trucks are not permitted overnight in driveways or streets.

Vehicles to include golf carts may not be used as advertising or signage while parked in driveways or streets.

Helicopter pads and helicopters are prohibited.

Boats and RV's shall not be stored longer than loading/unloading or cleaning in excess of 24 hours.

Golf carts may not be parked in driveways overnight.

Electric car chargers may only be installed in garages, not outside the home.

## **Energy Efficiency**

All homes shall qualify for an overall energy performance compliance with local and state codes. All plans and specifications submitted for Final Approval shall include evidence of compliance with this provision prepared by and independent third party. Solar roof panels are permitted. An application must be submitted to the ALRC prior to installation. The ALRC reserves the right to approve or deny the location of the solar panels. Any wires or piping need to be the same color of the roof.

All electric car chargers must be installed in the garage. No outside chargers may be installed.

## **Appurtenances**

All exterior mechanical equipment including, but not limited to, transformers, vents, air condition compressors, pool pumps, meters, etc., shall be concealed from view by walls of the same material and color of the building or by an opaque landscaping screen.

## **Window Air Conditioning**

No window air conditioning units shall be permitted.

# **LANDSCAPE AND IRRIGATION**

## **Design Guidelines**

It is the purpose of this section to establish certain requirements and regulations for all homeowners, that shall ensure a minimum standard for functional and aesthetic landscape treatment for Cheval. This proposed treatment of the landscape is composed of living and nonliving elements which, properly and effectively combined, will greatly enhance the total man-made and natural environment.

There are many benefits from the use of the landscape elements. They effectively provide shade and cooling control, and modulate views and at the same time contribute to air purification, oxygen regeneration, noise absorption, glare reduction, wind and heat abatement and increased water absorption into the soil contributing to the reduction of water run-off.

In summary, the landscape treatment will achieve two highly desirable attributes in community development: the implementation of a high level of community aesthetics and the preservation of the best characteristics of the natural environment.

## **Landscape, Irrigation, Fencing Guidelines**

Each homeowner should incorporate a minimum of landscaping as outlined below. The Architectural and Landscape Review Committee will consider the following criteria during the review process:

- The degree to which the purposed plan complies with these standards.
- The degree to which the purposed plan supports and relates to the architectural style and the residence site.
- The extent to which the landscape is in harmony with adjacent and surrounding landscapes, buildings and amenities.
- Other considerations, which in the sole discretion of the ALRC are significant.

## **Landscape Plan Submittal Requirements**

- Prior to providing new or upgraded landscaping on an existing site, a landscape plan shall be submitted.
- Sheet size shall be 8.5" x 11" and no larger than 24" x 36".
- Indicate the name of home owner, address, phone number, and date on the plan.
- Clearly delineate the existing and proposed structures, driveways, sidewalks, retaining walls, fences and similar features.

- Show proposed grading, indicating topographic features and spot elevations of the final grading plan when drainage is a concern.
- Show existing and proposed utility easements where relevant.
- Show the location of new and existing plant material, including plants to be removed or relocated. Clearly label name, size and spacing.
- Show proposed or existing locations of mechanical equipment and refuse areas and methods of screening.
- Label locations of proposed turf (species). Sod plugs or seeding is not permitted.
- Label areas of mulch and indicate type.
- Indicate the method and type of irrigation.
- Indicate approximate scale of drawing or sketch which should be consistent with the site plan.
- Place a north arrow on the plan and indicate the square footage of landscaped area.
- Provide a plant schedule that shows the following: plant or tree name, size in gallons, height, and spacing.
- Divide the plant schedule according to the following type of plant material: trees, palms, shrubs, accent plants, grasses and ground covers.
- Drainage easements must be shown on the drawings.
- Copy of the lot survey.

The front yard is the area between the house and the street or sidewalk. This area shall have foundation plantings comprised of shrubs, accent plants, ornamental grasses, and ground cover in any combination provided that no less than 50 percent of the total required materials are shrubs. Additionally:

No hedges are to be planted in front of the house within the setback to the street.

A minimum of two (2) foundation plants are required for each linear foot, (or portion thereof), of the exterior building perimeter.

When calculating the minimum number of required plants, the linear distance of openings for overhead doors, or entrances to the building, or the perimeter of attached or detached canopies shall be excluded.

The linear distance below or adjacent to all windows shall be included in the calculation of required plants.

Plantings should be a minimum of three (3) gallon size, except that shrubs shall be a minimum seven (7) gallon size and 18-24 inches in height when installed.

Foundation landscaping around the building shall be used or installed in such a manner so as to screen mechanical equipment attached to or adjacent to the building.

The landscaping should provide direction to and enhance entrances and walkways, and provide visual breaks along monotonous building facades.

All turf grass shall be any variety of St. Augustine sod either rolled sod or rectangular sheets of sod.

Front yard landscaping shall be at least fifty percent (50%) St Augustine sod.

Mechanical equipment, (such as backflow preventers, utility cabinets, air conditioners, electric meters, transformers, cable boxes, etc.) visible from streets shall be landscaped with a continuous 100% opaque hedge or masonry wall finished to match the exterior of the house.

Xeriscaping is acceptable provided plantings, placement and ground cover meet Florida Friendly Water Wise recommended applications.

Trees will not count toward a percentage of landscaped area. All trees are required to be planted a minimum of 15 feet from all property lines, drainage easements, driveways and any other building structure on the property (front, side or rear).

No flower boxes are allowed under any window opening.

Trees planted in Beauvais between the street and sidewalk may only be a Sweet Bay Magnolia. No other variety of tree will be permitted.

### **Side Yard Landscape**

1. This area is parallel to and between the side property lines and the building.
2. A minimum 10% of the side yard area (square footage) shall be landscaped and the remainder shall be grass or hardscape.
3. Side yards that are visible from the street shall comply with the same requirements as corner lots except a tree is not required.

No hedges to be planted beyond the front structure of the house to the street along the property line. All side yard hedges shall be a maximum of 4 feet in height.

### **Corner Yard Landscape**

Corner yard landscaping includes that portion of the yard from the edge of the street or sidewalk to the side of the house.

All corner yards shall be landscaped with the following:

At least one (1) solid row of three (3) gallon sized hedge shall be planted along the building side which faces the street.

Any hedge planted along the corner yard, shall be to a maximum height of four (4) feet or below the an existing window. Hedge must be planted within three feet of the house structure.

A continuous St. Augustine sod lawn either rolled sod or rectangular sheets of sod.

Corner yards must have at least one additional street tree.

Xeriscaping is acceptable provided plantings, placement and ground cover meet Florida Friendly Water Wise recommended applications.

Corner lot landscaping shall adhere to the site plan as shown in Figure 11.

### **Golf Course Lots**

1. This area is parallel to and between the rear property line and the building and can be viewed from the golf course.
2. An area equal to or greater than 10% shall be landscaped and the remainder shall be grass or hardscape.
3. Landscaping shall not block views of the golf course or lakes.

### **Garden Borders**

Garden borders are allowed in all planting areas. Approved materials are: pre-cast concrete, brick, rubber, rolled plastic edging, and any faux stone product, poured in place concrete or natural stone and must not rise more than four inches above ground level. Temporary fences to control deer eating or damaging plants may be permitted for a limited time upon ALRC approval. An application must be submitted prior to installation of a temporary fence.

### **Irrigation**

Reclaimed water for irrigation is available to most Cheval residents. Automatic in ground irrigation systems are required to irrigate all sod and landscaped areas. The system should include:

All new irrigation systems must be from reclaimed water lines via Hillsborough County connections or county water.

No owner shall draw water from any water body, lake or pond within Cheval for irrigation purposes.

The back-flow preventer shall be placed out of sight and screened by landscaping.

Sprinklers should not spray on any roadway, driveway, sidewalk or adjacent property.

### **Landscape Maintenance**

Landscaping shall be maintained in a good condition so as to present a healthy, neat, and orderly appearance, and shall be kept free from refuse and debris. Maintenance is to include mowing, edging, weeding, watering, mulching, pruning, fertilization, inspection and repair of irrigation systems to ensure their proper functioning.

Regular maintenance includes keeping all plant materials in a vigorous and healthy condition, free from diseases, pest, weeds, and litter.

Maintenance also includes, repair, or replacement of landscape structures (walls, architectural features, etc.) to a structurally sound condition.

Existing hedges in the front and back of each home shall be maintained at approximately four-six feet in height. Hedges and shrubbery placed between homes for privacy may exceed four feet but must be neatly maintained no higher than 6 feet and proportionate to the home. All hedges must not exceed the front boundary of the house. New hedges must be maintained to 4' and require an application to the ALRC. If approved, hedges must be manicured on all sides within the property line of the owner who planted them or owns them.

Failure to regularly maintain as described in these maintenance requirements shall constitute a violation of this provision. Notice of noncompliance may be issued to the owner requiring the immediate attention to conforming to these maintenance requirements. The HOA may correct by repair, replace or remove landscape materials as required by this provision. Costs for such actions is the Homeowners responsibility.

Required plant materials, if dead, diseased, or severely damaged, shall be removed by the owner as soon as possible, but no later than 60 days after notification. All such plants shall be replaced within 60 days of notification, or by the next planting season, whichever comes first.

Replacement plants must be of the same size and species as shown on the approved landscape plan or must be equivalent in terms of quality and size. Such replacement will not be considered an amendment to the approved plan.

Trees in a healthy condition shall be protected and preserved unless they are a hazard or a detriment to physical property. All trees that have been removed shall have the stumps ground to six inches below grade and sod installed.

Irrigation systems shall be maintained in operable condition.

Turf areas generally require periodic mowing, aeration, dethatching, fertilization, and weed abatement. Turf must not exceed 6 inches in height unless approved otherwise by the ALRC. Turf and grass areas must be maintained in a healthy condition without areas of dirt or dead grass. Weeds must be abated and removed.

Irrigation systems shall be maintained and periodically adjusted to assure watering efficiency and conservation methods. Replacement parts shall match or be compatible with the system requirements.

### **Landscape Lighting**

All landscape lighting must be “ground up”, white lighting except colored lighting may be used during the December holiday season. Outdoor lighting around walkways and fire pits must be

“down lighting” or bollard style. No post lighting is allowed. No string or rope lighting is allowed. All outdoor lighting must be approved by the ALRC.

### **Landscape Materials**

All landscaped plants should be planted with topsoil, peat moss, and fertilizer mixtures.

No bare ground, white rock, sand, sea shells or pebbles are permitted for use or substitution for shrubs, ground cover, mulch or sod.

All shrubs, and tree beds shall receive a two inch (2") minimum layer of mulch.

Approved ground cover and/or mulch products are: cypress mulch, eucalyptus mulch, pine bark mulch, river rock, lava rock or pine straw.

Xeriscaping is acceptable, provided plantings, placement and ground cover meet Florida friendly water wise recommended applications.

All lawns shall be any variety of St. Augustine sod either rolled sod or rectangular sheets of sod.

### **Plant Material List**

The following plant material is considered to be appropriate for Cheval. These plant materials have been chosen for their natural or adaptable qualities and their function in the landscape. All annuals and perennials are allowed and planting does not require approval.

<b><u>Approved Tree List</u></b>			
Adonidia Merrilli (Christmas Palm)	East Palatka Holly*	Loblolly Bay*	Shumard Oak*
Ash Trees*	Eastern Redbud*	Mahogany	Senegal Date Palm Bald
Bald Cypress	European Fan Palm	Myrtle leaf Holly*	Silver Palm
Bismarck Palm	Fan Palm	Needle Palm*	Southern Slash Pine*
Bottlebrush	Fishtail Palm	Paurotis Palm	Southern Magnolia*
Bradford Pear	Florida Elm*	Photinia—standard	Southern Red Cedar*
Buttonwood	Florida Privet	Pigeonplum	Star Anise

Cabbage Palm*	Florida Winged Elm	Pindo Palm	Sweet Acacia
Canary Island Date Palm	Flowering Dogwood*	Pineapple Guava	Sweet bay Magnolia*
Cardboard Palm	Foxtail Palm	Pond Cypress*	Sweet gum*
Chestnut Oak*	Green Ash*	Powder-puff	Sycamore*
Chickasaw Plum*	Hickory	Pygmy Date Palm**	Sylvester Palm
Chinese Elm	Italian Cypress	Queen Palm	Tabebuia (Pink and Yellow)
Chinese Fan Palm	Japanese Blueberry	Red Maple*	Tamarind
Crape Myrtle*	Japanese Dogwood	Red Cedar*	Thatch Palm
Dactylifera-Medjool Palm	Lady Palm	River Birch*	Wax Myrtle*
Dahoon Holly	Lavender Trumpet Tabebuia	Royal Palm	Winged Elm*
Date Palm	Leyland Cypress	Saw Palmetto	Yaupon Holly
Drake Elm	Ligustrum Tree	Sea Grape*	Tibouchina
Dwarf Palmetto	Live Oak*	Senegal Date Palm Bald	
<b>*Denotes Florida native species      **Roebelinii is the same as the Pygmy Date Palm</b>			

Native and Ornamental Shrub/Ground Cover Selections

African Iris	Downy Jasmine	Indica Azalea	Red Tip Photinia
Agapanthus (Lily of the Nile)	Duc de Rohan Azalea	Ixora-Standard and Dwarf	Salvia-Native
Alaskan Snow Azalea	Dwarf Burford Holly	Jatrophia	Sand Cord Grass*
Allamanda	Dwarf Chinese Holly	King Sago	Sandankwa Viburnum
Autumn Fern	Dwarf Fakahatche Grass	Knockout Roses	Schefflera Arboricola

Aztec Grass	Dwarf Indian Hawthorn	Ligustrum	Shore Juniper
Beauty Berry	Dwarf Ixoria	Liriope	Shrimp Plant
Bird of Paradise	Dwarf Nandina	Loropetalum	Silverthorn
Blackhaw	Dwarf Oleander	Maui Ixora	Simpson's Stopper
Viburnum*			
Blue Daze	Dwarf Wax Myrtle*	Minima Jasmine	Snow Bush (all types)
Blue Pacific Juniper	Dwarf Yaupon Holly	Mondo Grass	Society Garlic
Blue Palmetto	English Ivy	Muhly Grass*	Southern Charm Azalea
Border Grass	Evergreen Giant Liriope	Multiflora Rose	Spartina
Boston Fern	Fakahatchee Grass*	Natchez Crape Myrtle	Spider Lily*
Bouganvillea	Fatsia	Native Lantana*	Star Jasmine
Boxthorn	Fetterbush	Nellie Stevens Holly	Sweet Viburnum
Bugelweed	Firebush	Oleander Standard	Texas Sage
Burford Holly	Firecracker Plant	Palmetto*	Thryallis
Bush Daisy	Flax Lily	Parson's Juniper	Ti Plant (Cordyline)
Butterfly Bush	Fountain Grass	Pencil Cactis	Tree Ligustrum
Caladium	Foxtail Fern	Periwinkle	Variegated Pittosporum
Camellia	Gallberry	Pfitzer Juniper	Viburnum Awabuki
Cape Jasmine	Gardenia	Philodendron	Viburnum Suspensum
Cardboard Plant	Gerbing Azalea	Pineapple Guava	Viburnum Walter's-Standard and Dwarf*
Cast Iron Plant	Ginger-Variegated	Plumeria	Wart Fern (Monarch Fern)
Cinnamon Fern	Gold Mound	Plumbago	Wax Leaf Jasmine
Confederate Jasmine	Golden Shower Cassia	Podocarpus	Wax Leaf Privet
Coontie Palm	Golden Thryallis	Primrose Jasmine	Wax Myrtle*
Coral Honeysuckle	Grafted Gardenia	Purple Heart	Wild Coffee

Crape Myrtle	Green Pittosporum	Purple Lantana	Wiregrass
Creeping Fig	Hibiscus (all types)	Queen Palm	Wood Fern
Crinum Lily	Holly Fern	Queen Sago	Yellow Anise*
Croton (all types)	Hydrangea	Red Ginger	Yellow Jessamine*
Day Lily	Indian Hawthorne	Red Ruffle Azalea	Yellow Lantana
	Ilex Shilling		

<b>*Denotes Florida native species</b>			
<b><u>Approved Trees</u></b> <b><u>Restricted in Rear Yard</u></b> <b><u>Placement or Side Yard</u></b>	<b><u>Approved Vines</u></b>		
Avocado	Bouganvillea	Jasmine	Passion Vine
Citrus Trees (limit one)	English Ivy	Mandevilla	Pelican Vine
Mango			
Jacaranda Tree		Moonflower Vine	Wisteria

## Buffers and Screening

The ALRC shall determine the location of areas required to be buffered and/or screened. It shall be the responsibility of the applicant to prepare a landscape and/or screening plan which shall achieve the directives set forth by the ALRC.

## Earthen Berm's

Berms shall be smooth flowing natural forms. Smooth flowing natural berm's must be carefully formed and finely graded to blend into the surrounding landscape. Architectural berms with straight lines, uniform slope and crisp angular change in direction are discouraged. The height of berms should vary to avoid a monotonous appearance. No berming shall impede or cause surface drainage problems.

## **FLAG AND FLAGPOLE GUIDELINES**

One (1) portable, removable flagpole per residence. Flagpole must be mounted to the home or installed within six (6) ft. of the home, or attached to a house structure. Flags are not to be mounted to mailboxes. The highest point of the flag or flagpole cannot exceed the roof eave line. The size of the flag must not exceed 3' X 5'. For all flagpoles exceeding 5' in length, a lot survey must be submitted with the exact location of flagpole shown. Flagpoles exceeding 5' in length could be subject to landscaping requirements.

## **BIARRITZ**

Biarritz Village (Biarritz) is unique in many respects. This neighborhood of 92 closely spaced homes was designed with a distinctive architectural look to help create a cohesive and close community environment. Its homes are of a similar style with common roof lines, identical terra cotta barrel roof tiles, with white screened pool enclosures, sharing a limited number of required paint schemes, with variation between contiguous homes. Located within East Cheval, Biarritz was created with its own community association to ensure properties are well maintained and to foster a sense of community. This is done in part by the Biarritz Association's responsibility for maintaining all of the landscaping on each property as well as the common areas. The Biarritz Association also works with the Cheval Architectural and Landscape Review Committee (ALRC) to establish specific standards affecting only Biarritz.

It is important to note that Biarritz is governed by the Cheval Master Declaration of Conditions, Covenants, and Restrictions which provides for the creation of the Cheval ALRC. The ALRC was created to set all of the architectural and landscape standards in East Cheval including Biarritz Village. However, to provide an opportunity for direct input into the establishment of standards impacting Biarritz and protect the unique qualities of this neighborhood, the Biarritz Board may establish specific standards, with the approval of the ALRC/Cheval Property Owners Association's Board of Directors. Should there be a conflict between the Cheval wide standard and the Biarritz standards, the most restrictive standard shall apply. Lacking a Biarritz specific standard the general standard shall apply.

## **BIARRITZ SPECIFIC**

### **Standard Exterior Paint Colors**

Biarritz homes shall be painted with one of the paint schemes approved for Biarritz.

No home shall be painted with the same scheme that exists on a home on either side of the applicant's home.

Paint schemes shall be approved on a first come first serve basis

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Painting must be completed within six months from the date an application is approved by the ALRC. Applicants failing to paint within six months must reapply and could lose their priority for the selected paint scheme.

Applicants desiring to paint roof tiles must contact management for color approval to match approved roof color.

### **Screen Enclosures**

In accordance with the contract dated September 25, 1992 between Biarritz Joint Venture and Cheval/ALRC "screen enclosures will be white in color and be in substantial conformity in shape and style. The aluminum frame of the screen enclosure must be white in color. The screen material must be compatible to the community.

### **Landscaping Borders and Hedges**

- All borders partially or totally surrounding the perimeter of landscaping beds shall be stones or bricks, must be aesthetically complimentary to the home, and must not rise more than four inches above ground level.
- Hedges in the front and back of each home shall be maintained at approximately four feet in height. Hedges and shrubbery placed between homes for privacy may exceed four feet but must be neatly maintained no higher than 6 feet and proportionate to the home. All hedges must not exceed the front boundary of the house.

## **END OF BIARRITZ SPECIFIC STANDARDS**

These Architectural Standards and Procedures Specific to Biarritz Village were submitted by the Biarritz Board of Directors to confirm existing standards, readopted by the ALRC at a publicly

noticed meeting held on February 24, 2015 and approved by the CPOA's Board of Directors at their regularly scheduled meeting on February 25, 2015.

## **CHEVAL CONTRACTOR RULES**

The Contractor Regulations are promulgated to insure the highest caliber of appearance, the maintenance of Security, the well-being of, and to otherwise maintain a clean and orderly condition within the grounds.

### **Time**

No contractor nor subcontractor or their employees, shall be permitted within Cheval except between the hours of 8:00 a.m. and 6:00 p.m., Monday through Friday and Saturday 8:00 a.m. to 3:00 p.m. except for emergency repairs. Sundays and Federal holiday work is not permitted. Hours other than those listed above are available for emergency use only (air conditioning or active water leaks) with the confirmation and approval by Security. These hours may be changed by the Committee at any time. Construction and/or maintenance to any home inside or outside is only allowed during these times.

### **Access**

All contractor personnel are required to enter and leave through the service / construction gate. This gate is located on the Lutz Lake Fern Road. Heading north on Dale Mabry from the main entrance turn left on Sun Lake Road to Lutz Lake Fern Road. Access will be given only after a permit and permission have been obtained. Other accesses may be granted by the ALRC at specific entrances.

The Contractor shall provide to the Security Coordinator, a complete list of all contractors, subcontractors and their employees who are to be permitted entry into CHEVAL for the purpose of construction work. This list will be kept current and reviewed bimonthly. Only authorized persons will be permitted entry.

### **Parking**

A construction trailer may be located on a lot while the actual construction is being carried out, by approval of the Committee only. However, the trailer shall not be placed within fifteen (15) feet of the front lot line.

All construction employee's and equipment will be restricted so as not to interfere with the free passage of traffic through the gate and property. The established speed limit within CHEVAL is 25 miles per hour for all vehicular traffic.

There shall be no overnight parking of vehicles on any street or blocking sidewalks within CHEVAL, by contractors, guest or residents.

Parking is not allowed on the grassy areas within CHEVAL

## **Conveniences**

### **Portable Toilet**

No construction shall occur on any lot until such time as a portable toilet facility has been located on the construction site. It must be located at the front or side, not at the rear.

### **Dumpster**

No construction on any lot shall occur without the presence of a dumpster for the purpose of collecting all trash and debris generated by contractors and their employees at the construction site. The dumpster shall be emptied on a regular basis to insure against continually existing in a “full” condition.

### **POD Storage**

POD storage units are allowed to be placed in the driveway for a maximum of 60 days for storage of construction materials or personal items.

## **Site Conditions**

Construction materials and storage shall be contained strictly within the lot. No material shall be stored or allowed to exist on the roadway or its shoulder. No material or storage shall be placed outside of the construction lot or on any part of the golf course area or common areas.

All debris shall be policed from the lot and adjacent lots and placed into the dumpster each day prior to leaving the site. Contractors shall not allow any debris, rubbish, cans or bottles to be discarded or blown off the lot.

No dogs, cats or other domesticated animals or wildlife, will be permitted at or on a work site without permission from CHEVAL.

Any radio, television or audio player, if in use on a construction site, must have the volume adjusted so as not to disrupt other operations or peace within CHEVAL.

The builder shall, at all times, be responsible for all persons having business at his construction site. Any contractor, subcontractor, or any employee at the discretion of CHEVAL be denied entry to temporarily or permanently, for a violation of any of the rules and regulations of CHEVAL.

Contractors are required to keep their job sites as neat and clean as possible. Trash and discarded material shall be either placed in the dumpster or removed daily from the site. There will be no stockpiling or dumping on adjacent lots, on common areas or on streets. Trash not removed will be removed by CHEVAL and billed to the responsible contractor or the job will be shut down until a lot is brought up to standards.

Contractors will use only the utilities provide on the immediate site on which they are working.

Any damage to streets and curbs, drainage inlets, street lights, street markers, mailboxes, trees, walls, etc. will be repaired by CHEVAL and such costs billed to the responsible contractor.

There will be no washing of any truck on the streets. Concrete delivery truck washed out must be on the construction site and removed by the contractor..

Operators of vehicles are required not spill any damaging material while within CHEVAL. If spillage occurs, operators are responsible for cleanup. Any clean up done by CHEVAL will be billed to the responsible party. Any spills must be reported to Security as soon as possible.

Any cut to any telephone, cable TV, electrical, and water, lines must be reported to Security immediately.

No vehicles, trucks, vans, cars, etc., may be left on site overnight without Security approval. Construction equipment may be left on the site while needed, but must not be kept on the street or common areas. Vehicles so left will be towed away at owner's expense.

Possession or consumption of alcoholic beverages or narcotics on CHEVAL property is prohibited; violators will be immediately escorted off the premises. A repeat violation will result in permanent loss of pass.

No signs are permitted on CHEVAL property without approval.

Failure to comply with the above rules may result in the loss of an access pass, making it impossible to work in CHEVAL.

### **Amendments**

These rules will be amended from time to time.

**These guidelines for all CHEVAL shall be interpreted by the Cheval ALRC**